

Land off Cuffley Hill Goff's Oak

Design & Access Statement | November 2018

Produced on behalf of
Countryside Properties

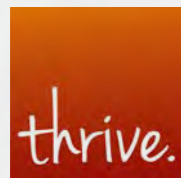


The Team

On behalf of:



THE CONSULTANT TEAM



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Acoustic Consultant



Drainage Consultant



Archaeology



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Sustainability

Content

INTRODUCTION	03
SUMMARY OF PROPOSAL	04
SITE CONTEXT	05
THE SITE	08
DESIGN EVOLUTION	13
DESIGN PROPOSAL	15
CONCLUSION	25

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1.0 Introduction

1.1 The Design and Access Statement (DAS) has been prepared on behalf of Countryside Properties in support of proposals for land off Cuffley Hill, Goff's Oak.

1.2 This statement supports a full planning application and sets out how the application initiates design principles and focuses on design considerations including access, layout, landscape, scale and appearance. It should be read in conjunction with the other plans and drawings submitted with the full application and its accompanying documents / drawings.



2.0 Summary of Proposal

Site Area

2.1 The area of the site is 3.10 hectares / 7.66 acres.

Public Open Space

2.2 The majority of the open spaces within the site is located in the northern part of the site and surrounds the trees and tree groups in this area. The layout's intention is to retain existing trees and hedges where possible and feasible. The existing watercourses in the north western corner of the site will be retained and incorporated in the drainage and open space strategy. As mentioned above, the northern part of the site is retained as open space and will form part of the site wide green infrastructure network. This network will accommodate formal and informal open spaces as well as an ecological corridor.

Residential mix

- 58 residential dwellings
- mix of private and affordable houses with gardens
- predominantly houses with an apartment block in a strategic suiteable location.

Access

2.3 The development will provide a new junction off Cuffley Hill to simplify the access to the application site. The junction will be sized to accommodate the traffic volume and capacity of the application site.

Appearance and Materials

2.4 The new buildings within the proposed development will all have a traditional vernacular architectural character and appearance reflecting these of the local area.

2.5 Materials will make reference to those seen locally and will include brick, render and timber boarding in appropriate colours for the location within Goff's Oak.

2.6 Roof materials will be brown and grey tiles.

Parking

2.7 Parking will be in accordance with the Borough of Broxbourne car parking standards.

2.8 The current Borough's parking standards indicates the following standards:

- 1 bed = 1.5 allocated parking space
- 2 bed = 2.0 allocated parking spaces
- 3 bed = 2.5 allocated parking spaces
- 4+ bed = 3.0 allocated parking spaces



▲ View of selected units along the central POS area (plots 14, 13 and 9)



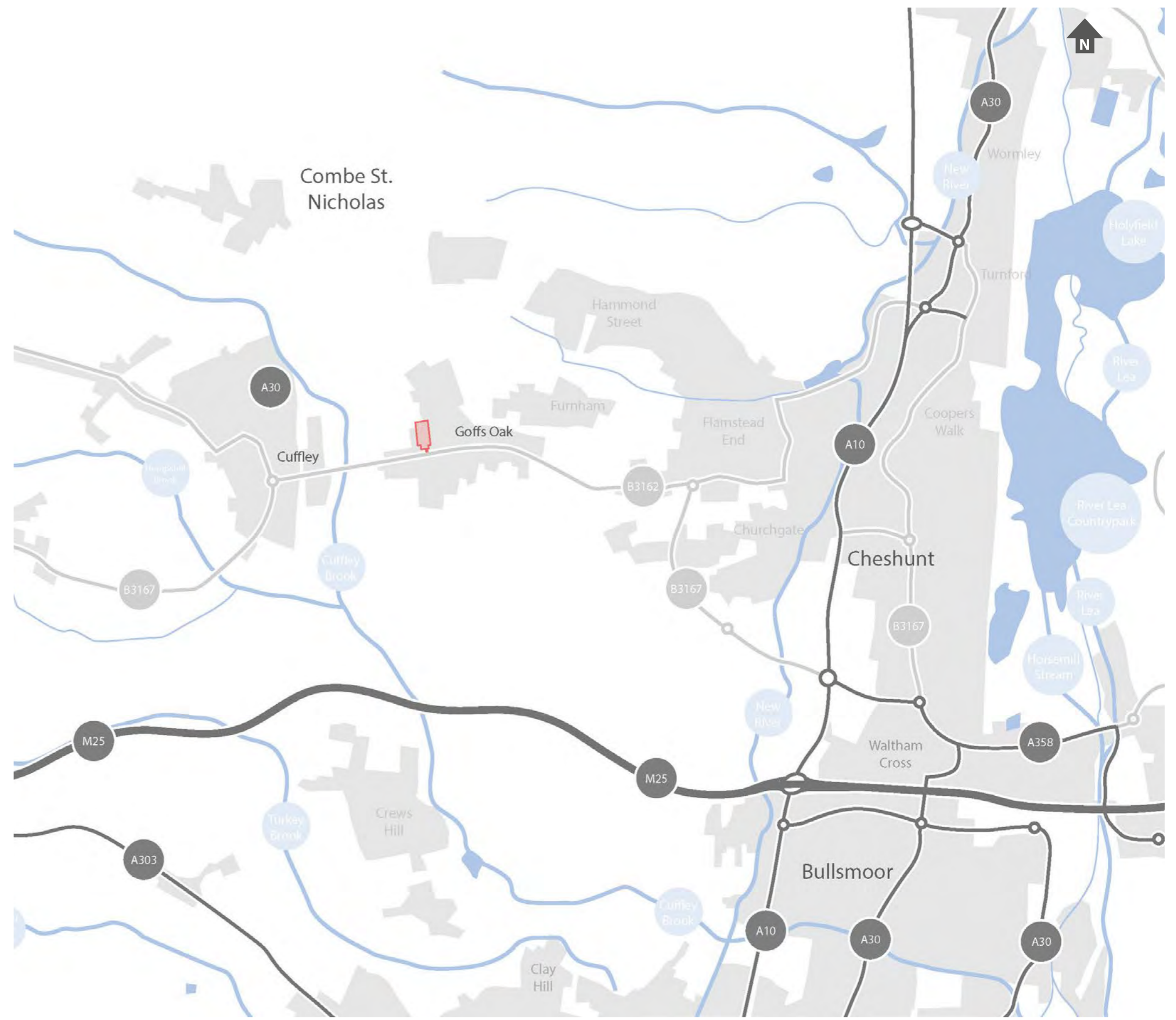
▲ View westwards facing the terraced units along the western boundary (plots 32- 34 on the right hand side)

3.0 Site Context

3.1 The site is located on the north-western edge of Goff's Oak, on the site of two former redundant nurseries. The site comprises of two rectangular areas which both have access off the same entrance at Cuffley Hill. The site benefits from access onto Cuffley Hill (B156) via a layby.

3.2 Cuffley Hill (B156) is a direct connection to the centre of Cheshunt to the east and connects to the A10 and subsequently to the M25 approximately 6 km to the south east of the site. Cuffley railway station lies approximately 1 km to the west of the site along Cuffley Hill (B156) and provides access to Hertford, Stevenage and London Liverpool Station. Waltham Cross railway station lies approximately 5.5 km to the south east of the site and provides access to Hertford, Stratford, Bishop's Stortford (with access to London Stansted Airport) and London Liverpool Street.

3.3 The motorway can be accessed via junction 25 to the south east approximately 4.5 km away and via junction 24 to the south west approximately 6.0 km away.



Planning Policy Context

National Planning Policy Guidance

3.4 The Government’s policies on different aspects of planning are set out in the National Planning Policy Framework (NPPF) 2018.

3.5 The NPPF states that the ‘presumption in favour of sustainable development’ is at the heart of the planning system, and that:

“For decision-taking this means

c) approving development proposals that accord with the an up to-date development plan without delay; or

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting planning permission unless:

The application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or

Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.”

3.6 The following chapters of the NPPF are considered to be relevant to the proposed development:

- Chapter 5 – Delivering a sufficient supply of homes.
- Chapter 11 – Making efficient use of land.
- Chapter 12 – Achieving well-designed places.
- Chapter 15 - Conserving and enhancing the natural environment.

Development Plan

3.7 Section 38 (6) of the Planning and Compulsory Purchase Act 2004 states that:

“If regard is to be had to the development plan for the purpose of any determination under the Planning Acts, the determination must be made in accordance with the plan unless materials considerations dictate otherwise.”

3.8 Paragraph 48 of the NPPF advises that:

“Local Planning Authorities may give weight to relevant policies in emerging plans according to:

The stage of preparation of the emerging plan (the more advanced the preparation, the greater the weight may be given);

The extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given) and;

The degree of consistency of the relevant policies in the emerging plan to the policies in this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).”

3.9 The development plan context is therefore considered to be provided by:

- Broxbourne Local Plan Second Review 2001-2011 (2005)
- Broxbourne Pre-submission Local Plan 2018-2033

Broxbourne Local Plan Second Review 2001-2011 (2005)

3.10 There are a number of policies within these documents which could be of relevance to the determination of this planning application, they are as follows:

SUS1	Sustainable Development Principles
SUS2	Energy
SUS3	Waste and Recycling
SUS9	Requirement for a Noise Impact Study
SUS12	Development on Contaminated Land
SUS14	Water Supply Waste Water Treatment and Water Conservation
SUS18	Surface Water Drainage
H1	Residential Land Supply
H2	Maximising The Development Potential From Sites
H6	Protecting The Amenity of Existing Residential Areas
H8	Design Quality of Development
H11	Housing Densities in New Development on Unallocated Housing Sites
H12	Housing Mix
H13	Affordable Housing
H14	Securing Provision Of Affordable Housing
CLT2	Children's Play Areas
HD13	Design Principles
HD14	Design Statement on Local Character
HD17	Retention/Enhancement of Landscape Features
HD18	Trees, Hedgerows and Woodlands
HD22	Community Safety
T3	Transport and New Development
T4	Green Travel Plans
T5	Development Standards
T6	Rural Roads
T9	Pedestrian Needs
T10	Cycling Provision
T11	Car Parking

Broxbourne Pre-submission Local Plan 2018-2033

3.11 This Pre-submission Plan has been submitted to the Secretary of State for consideration, the Examination in Public is forecast for Spring 2019. It is therefore deemed to carry significant weight.

3.12 There are a number of policies within this Plan which are considered to be relevant to the determination of this application, they are as follows:

PM1	Sustainable Place Making
GO5	North of Cuffley Hill
INF8	Utilities Statement
INF12	Educational Facilities
PO1	Planning Obligations
DSC1	General Design Principles
DSC3	Design affecting the Public Realm
DSC4	Management and Maintenance
DSC5	Sustainable Construction
DSC6	Designing Out Crime
H1	Affordable Housing
H3	Housing Mix
ORC1	New Open Space, Leisure, Sport or Recreational Facilities
W2	Water Quality
W3	Water Efficiency
W4	SuDs
NEB1	General Strategy for Biodiversity
NEB4	Landscaping and Biodiversity in New Developments
NEB5	Ancient Woodland, Protected Trees and Hedgerows
ENV1	Residential and Environmental Quality
HA9	Archaeology
EQ5	Contaminated Land
TM1	Sustainable Transport
TM2	Transport and New Developments
TM3	Access and Servicing
TM4	Electric Vehicle Charging Points
TM5	Parking Guidelines

Supplementary Planning Guidance

3.13 There are some Supplementary Planning Documents relevant to this proposed development, these are as follows:

- **Borough Wide Supplementary Planning Guidance**
- **Interim Policy for Residential Car Parking Standards**

3.14 Cuffley Hill (B156) is the western access route into Goff's Oak. The road currently approaches the western edge of Goff's Oak with residential development on both sides. The entrance into the village is not apparent when approaching the village from the west due to the mature tree planting in combination with the roads running parallel to Cuffley Hill and the dense front garden planting on both sides along this route. A special character of Cuffley Hill is the orientation of buildings framing the road. Houses to the north are orientated to run parallel to the road whereby houses to the south along the road are aligned in a slight angle to the road probably to achieve a perfect north south orientation of the houses.

3.15 The area immediately surrounding the site and within Goff's Oak are developments characterised by predominantly 2 storey detached houses with a limited number of 1 and 1.5 storey houses. The local centre at the junction Newgatestreet Road and Cuffley Hill provides some taller mixed use buildings of up to 3 storeys. The three storey Valley View flat block is located just north of the local centre.

3.16 The area surrounding the site has a variety of materials used which is typical for early 20th Century development and include various detailing such as ornamental timbered frames, bay window extending over two storeys, hipped roof forms and chimneys. Other buildings in the area have typical characteristics of the 1950s / 1960s with single bay windows, simple facades, wall cladding or hanging tiles and gable roofs.

3.17 Generally, the roads in the area provide footpaths either side with Cuffley Hill and other main routes accommodating green verges to separate the footpaths from the road. Buildings in the area are generously set back to accommodate large front gardens, parking spaces and drives for each property. Properties are provided with on plot parking spaces and usually a garage.

4.0 The Site

4.1 The site is located on the north-western edge of Goff's Oak, on the site of two former redundant nurseries. The site comprises of two rectangular areas which both have access off the same access point off Cuffley Hill (B156).

4.2 Cuffley Hill (B156) is a direct connection to the centre of Cheshunt to the east and connects to the A10 and subsequently to the M25 approximately 6 km to the south east of the site. Cuffley railway station lies approximately 1 km to the west of the site along Cuffley Hill (B156) and provides access to Hertford, Stevenage and London Liverpool Station. Waltham Cross railway station lies approximately 5.5 km to the south east of the site and provides access to Hertford, Stratford, Bishop's Stortford (with access to London Stansted Airport) and London Liverpool Street.

4.3 The motorway can be accessed via junction 25 to the south east approximately 4.5 km away and via junction 24 to the south west approximately 6.0 km away.

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Site levels

4.8 The Land at Cuffley Hill is fairly flat. There is a very gradual rise in levels across the site, from approximately 91.00m AOD in the lower north western corner and along the western boundary to 101.50m AOD in the higher north eastern corner. This results in a level change of approximately 10.5m over a distance of some 150m.

▶ Access point from Cuffley Hill



▶ View northwards to the south eastern edge



▶ View of the western boundary hedgerow/tree group



▶ View from within the site towards south western boundary





Arboriculture

4.9 An Arboricultural Survey and assessment of the existing tree and hedge population has been carried out by Tracy Clarke Tree Consultant which has assessed the condition and quality of the vegetation on and adjacent to the site. In terms of tree removals and retention, the likely impact of this full planning application for a residential development upon on site trees and hedges and relevant off-site trees was established. Potential areas of conflict with retained trees that should be considered in the final design were highlighted.

4.10 The individual trees and groups of trees found within the main body of the site are shown in the plan and schedule opposite. The trees and hedges within the site and along the boundaries are a mix of Category (Cat) B (moderate quality and value), Cat C (low quality and value) and Cat U (decline or dead). Any loss of tree will be concentrated on those of low value or quality or those trees where their loss will have limited impact on public amenity value and that are necessary to facilitate a sustainable development scheme. New landscaping proposed for the site will include native planting and will provide an opportunity to build on the existing mature native green infrastructure and therefore providing a sustainable green resource which will help to integrate the development into the wider area.

Noise





4.11 A noise impact assessment has been undertaken to assess the potential impacts and likely effects arising from the proposed development; and the residual effects following consideration of mitigation measures integral to the development proposals.


4.12 Consideration has been given to the legislative and planning policy of relevance to the site in the context of noise, along with relevant Guidance and British Standards. A baseline noise survey was undertaken on site to determine the existing ambient noise conditions.

4.13 The acoustic environment across the site was found to be affected by road traffic along Cuffley Hill (B156). The road traffic noise will have a negligible effect on the new development and it is not expected that the traffic flow along Cuffley Hill will increase in the near future.

4.14 This application has considered noise in light of the existing relationship with the adjacent C.G. Edwards Ltd site along the western boundary, however, once developed for residential use, as per application reference: **07/18/0363/F**, there will be no notable noise disturbance.

Key

-  Category B tree- moderate quality and value
-  Category C tree- low quality and value
-  Category U tree- decline or dead
-  Root protection area (RPA)

 Tree Survey Plan (prepared by Tracy Clarke Tree Consultancy)






















Drainage and flood risk

4.15 The site falls within flood zone 1. Flood zone 1 is defined as: "Land having a less than 1 in 1,000 annual probability of river or sea flooding." A flood risk assessment (FRA) is not required for sites falling within this zone 1.

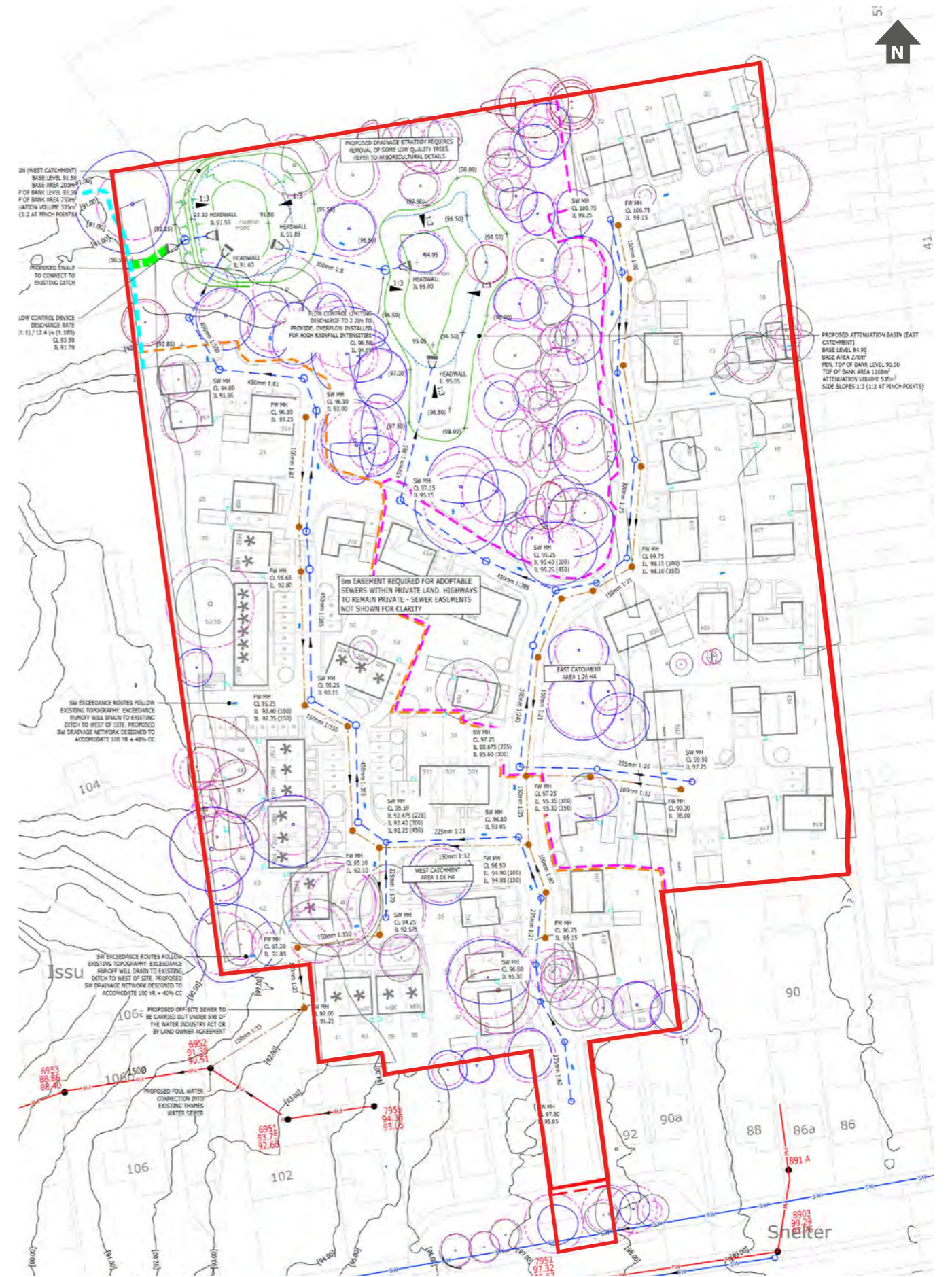
4.16 A drainage strategy has been prepared which took into account all existing service routes which have been taken from the respective undertakers records.

4.17 There is an existing ditch located in the north western boundary of the site which could be utilised to drain the site.

4.18 The site is proposed to provide attenuation basins in the northern part of the site. The basins will be connected by culverts as well as connected by a swale with the existing watercourse in the north western corner.

Key	
	EXIST Site boundary
	EXIST Existing ditch
	EXIST Existing foul sewer
	EXIST Existing surface water sewer
	PROPK Proposed foul sewer
	PROPK Proposed surface water sewer
	PROPK Proposed swale
	PROPK Proposed headwall
	PROPK Proposed attenuation basin
	PROPK Proposed ground level
	EXIST Existing ground level
	SW E SW exceedance route
	EAST East catchment
	WEST West catchment
	EXIST Existing LIDAR contours
	A0 Cat B groups/hedges/trees of moderate quality and value
	GF Cat C groups/hedges/trees of low quality and value
	RE Cat U tree in irreversible decline or dead
	RC Root protection area

 Drainage Strategy





Transport and Highways

4.19 In order to appraise the site in terms of transport and highways, a detailed Transport Statement (TS) has been prepared to assess the potential impacts of the proposed redevelopment on the local highway network. The TS includes a review of the existing movement networks and an assessment of the impact of vehicular trips that could be associated with the redevelopment.

4.20 The TS confirms that the site is within a sustainable location, with a range of social infrastructure accessible by modes other than private car, with both established public bus and National Rail services within an acceptable walk and/or cycling distance.

4.21 The TS has established that the proposed scale of development will not generate a significant number of vehicle movements along Cuffley Hill and is unlikely therefore to result in a material traffic impact.

4.22 The proposed site layout is accessible to all user groups, including emergency and service vehicles and incorporates car parking provision that ensures there is no risk of overspill onto the adjacent service road.

4.23 The TS has reviewed transport related planning policy at national, regional and local levels and concludes that the development proposals are in compliance which suggest that there is no in principle objection to the development of the site.



Constraints and Opportunities














Opportunities

- The relatively level topography and existing boundary vegetation provides very restricted long range views into the site.
- The site responds to the setting of the nearby existing residential development along Cuffley Hill and Newgatestreet Road.
- Access can be accommodated off Cuffley Hill via a new junction. The proposals access reuses the previous nursery access.
- The concentration of existing trees in the northern part of the site provides an opportunity to be used as green open space area and planted buffer zones along the northern edge of the development.
- The block structure and building orientation will be arranged to provide active frontages along the open spaces.
- The development will provide an appropriately sized attenuation pond within the northern part of the site to be included in the potential open space area.

Constraints

- Access will be provided via a new junction along Cuffley Hill (B156).
- The site boundaries contain a number of Category B (moderate quality and value), C (low quality and value) and U (no quality and value) trees and hedges. Cat B vegetation should be retained and enhanced where possible and feasible.
- Root protection zones of retained trees should be left undisturbed to avoid damaging the roots and therefore ensure the survival of the trees.

Key

 Site boundary	 Retained tree	 Sensitive boundary treatment/enhance planting	 Development area
 Site access	 Proposed tree removal	 Sensitive boundary treatment to existing residential properties	 Open space area
 Primary routes	 Retained hedge		 Attenuation area
 Structures to be removed	 Proposed hedge removal		





5.0 Design Evolution

5.1 The design of the layout has developed to retain most of the existing trees in the northern part of the site which effectively form a central public open space for the site and accommodates the attenuation features needed for the site development. The proposed layout responds to the detailed analysis of the site and its surrounding as well as to the site constraints.

5.2 The scheme is seen as an infill development and a natural extension to the village of Goff's Oak.

5.3 The initial sketch layout produced for the site envisaged to create a site layout consisting of a legible road hierarchy. The existing vegetation features dictated the road layout proposed as well as the location of the plots.



▶ Initial sketch layout
(April 2017)

5.4 The first Draft Layout generally followed the initial sketch layout and provided a close relation between the development and the existing vegetation on site.

5.5 The detailed layout used a more appropriate selection of house types which resulted in minor changes on the site layout whereby the road strategy was kept.

5.6 Existing trees and hedges were retained and incorporated in the layout. Additional hedge planting supported the landscape strategy across the site.

5.7 At this stage of the project, the site access was proposed off the layby running parallel to Cuffley Hill with the existing central reservation retained unamended.



6.0 Design Proposal

6.1 Following some ecology input a green (ecological) corridor was provided along the western boundary which resulted in a reduction of dwelling numbers across the site. The revised drainage strategy included two attenuation basins connecting with the existing watercourse in the north western corner of the site.

6.2 The proposed layout includes the provision of 58 dwellings accessed via a new junction off Cuffley Hill. The central reservation currently in place will be amended to accommodate a direct access into the site whilst protecting the accessibility of the existing properties in this area.

6.3 The majority of the proposed dwellings are provided in form of detached houses with some semi-detached and terrace housing. The proposal utilises a mixture of house types to create an interesting development. The development comprises of 35 private and 23 affordable dwellings (40% affordable units) with associated allocated car parking for each dwelling.

6.4 New trees and hedges will be provided across the site to create a high quality housing development within Goff's Oak and along Cuffley Hill.








Land Use


6.5 The proposed development is for residential housing including private and affordable units.

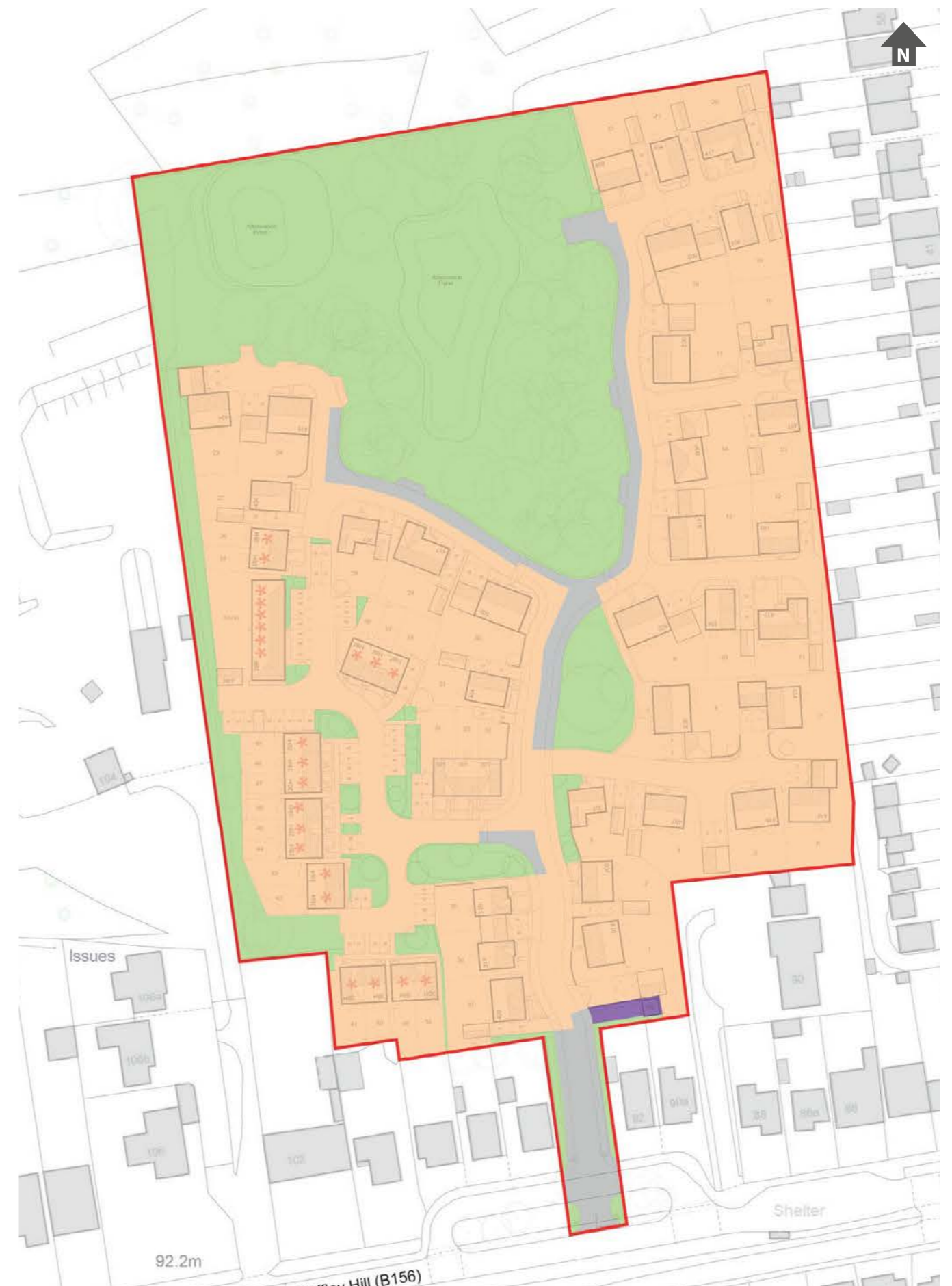
6.6 The developments overall density across the site is approximately 43 dwellings per hectare, which is appropriate for the location of the site along Cuffley Hill. The site will provide 58 dwellings.

6.7 The proposed layout seeks to create a legible pattern of densities across the site which will see detached and semi-detached units throughout the majority of the site and some terraced housing along the western siteboundary.

Key

-  Residential
-  Open space (formal and informal)
-  Attenuation
-  Highway
-  Sub-station

 Land use plan



Development scale

6.8 Buildings define the streets and spaces within a development. The height and width of the buildings will contribute to the legibility and orientation within the development. The scale of the buildings proposed respond to the analysis of the local character, the urban form and the position along Cuffley Hill and within the Goff's Oak.

6.9 Both length and width of a building vary across the site depending on location of the building within the scheme.

6.10 The quantum of 58 dwellings is sympathetic to the location and reflects the existing surrounding as well as the character of the village. The dwellings proposed are predominantly 2 storeys in height and will provide a range of 2, 3, 4 and 5 bedroom accommodations. A three storey apartment block will be proposed along the western site boundary and accommodate 2 bed flat.

- Building materials**
- Brick- red
 - Brick- dark red
 - Brick- buff
 - Render- buff
 - Timber boarding- off white
 - Timber boarding- black
- Building height**
- 1 storey
 - 2 storeys
 - 3 storeys

Storey heights and appearance



Movement and access

6.11 The site will be accessed via a new junction off Cuffley Hill (B156). The site is essentially a cul-de-sac driven by the nature of the site and its location within the village. The hierarchy of movement is however clear with transition from the main street to a shared surface area leading to short private driveways.





6.12 The footpaths along Cuffley Hill will be extended into the site to enable appropriate pedestrian friendly connection into the site.

6.13 The internal road layout will be designed in accordance with Hertfordshire County Council Roads and the Hertfordshire Design Guide. The site will be well connected and accessible by all users, whilst being easy to navigate, well overlooked, safe and secure.

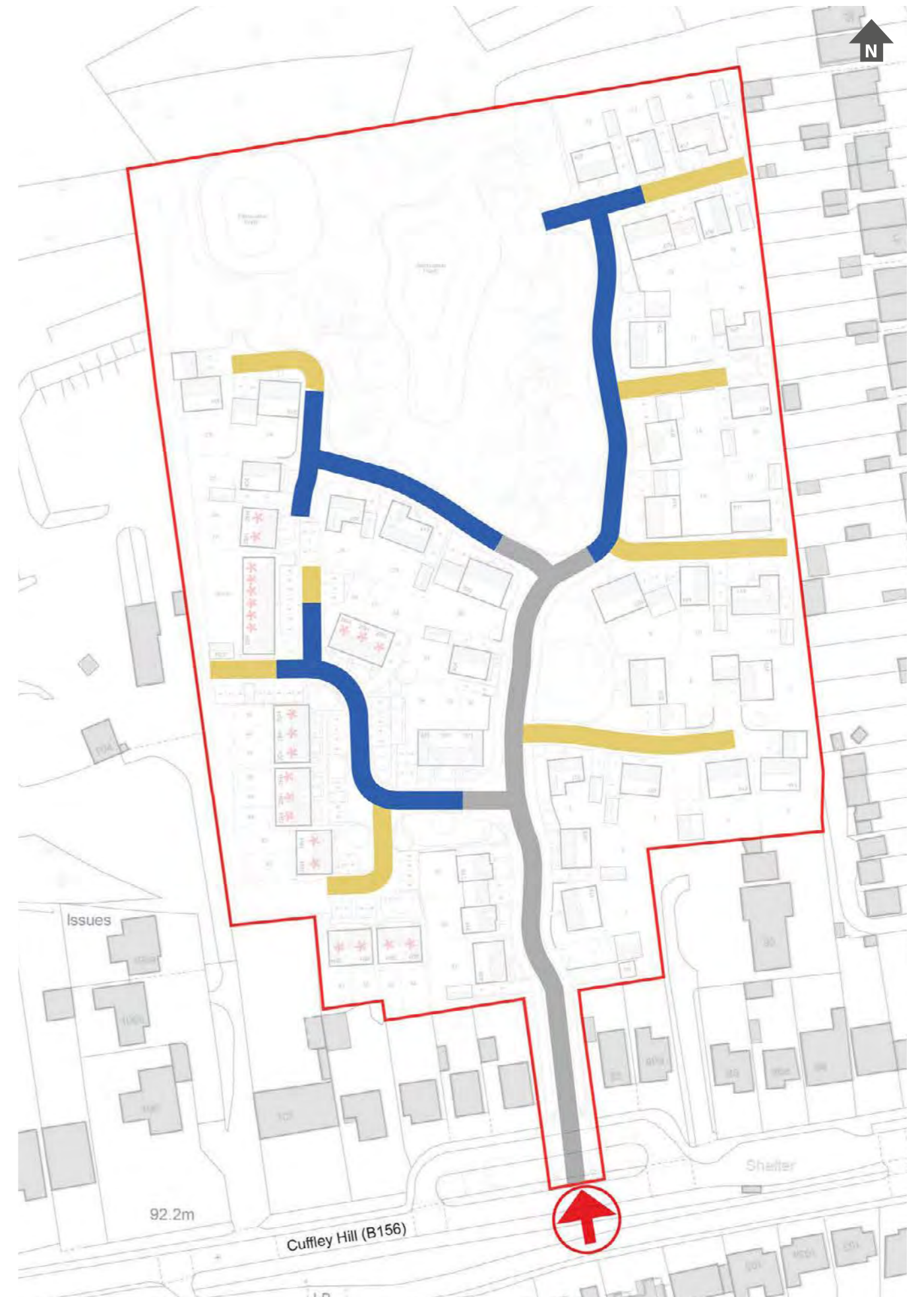
6.14 The established street types and hierarchy define the main movements through the site and helps achieve a permeable layout. The hierarchy was established to combine the function of the street as a movement corridor alongside its function to create places and spaces.

6.15 The development proposals have been influenced by "Manual for Streets 1 & 2" which encouraged this layout to adopt an innovative approach in order to create high quality movement corridors and places for all users, ages and abilities. This is illustrated on the street hierarchy plan opposite.

Key

-  Site access
-  Main Street
-  Shared Surface
-  Private Drive

 Street hierarchy Plan



Street Hierarchy

6.16 The character of the site is defined by a range of house types, integrated green open spaces and the street types. The street network across the site is proposed to be permeable. Street types included:

Main Street

6.17 The Main Street connects to Cuffley Hill and provides the main route through the site. This route will have footpaths either side. Building lines along the route are proposed to be semi-formal and can step back to provide parking in front of the house. Street planting is provided where possible.

Shared Surface

6.18 Shared surface streets connect the Main Street with the Private Drives. Shared surfaces can be finished in different materials.

6.19 Designated pavement provisions are not necessarily provided. Street planting is provided where possible. Irregular building lines create a rural feel and appropriate transition towards the Private Drives.

Private Drives

6.20 Private Drives have been designed to access a limited number of dwellings along the edge of the development. Properties will have direct access from these drives. Buildings will enclose the drives in a very loose and less regular frontage.

Parking

6.21 The proposals provide parking to the guidance set out in the Borough of Broxbourne Parking Standards. The table below indicates the parking provision applied for the site.

1 bed	1.5 parking spaces
2 bed	2.0 parking spaces
3 bed	2.5 parking spaces
4+ bed	3.0 parking spaces

5.22 A total of 156 allocated parking spaces are provided across the site with the addition of four visitor parking spaces located adjacent to the central green open space.

Key

- Garaging
- On plot
- In front of plot
- Visitor

Parking plan



Drainage

6.23 The aim of the drainage strategy is to respond to the potential flood risk on site and to mitigate any risk of flooding on and off site caused by run off water due to the proposed development.

6.24 The site slopes gently to the north west. The drainage strategy responds to the topography by proposing attenuation basin within the northern open space area. Due to the low risk of flooding on site some of the attenuation basins will be dry for most of the time and only occasionally filled with water in flood events.

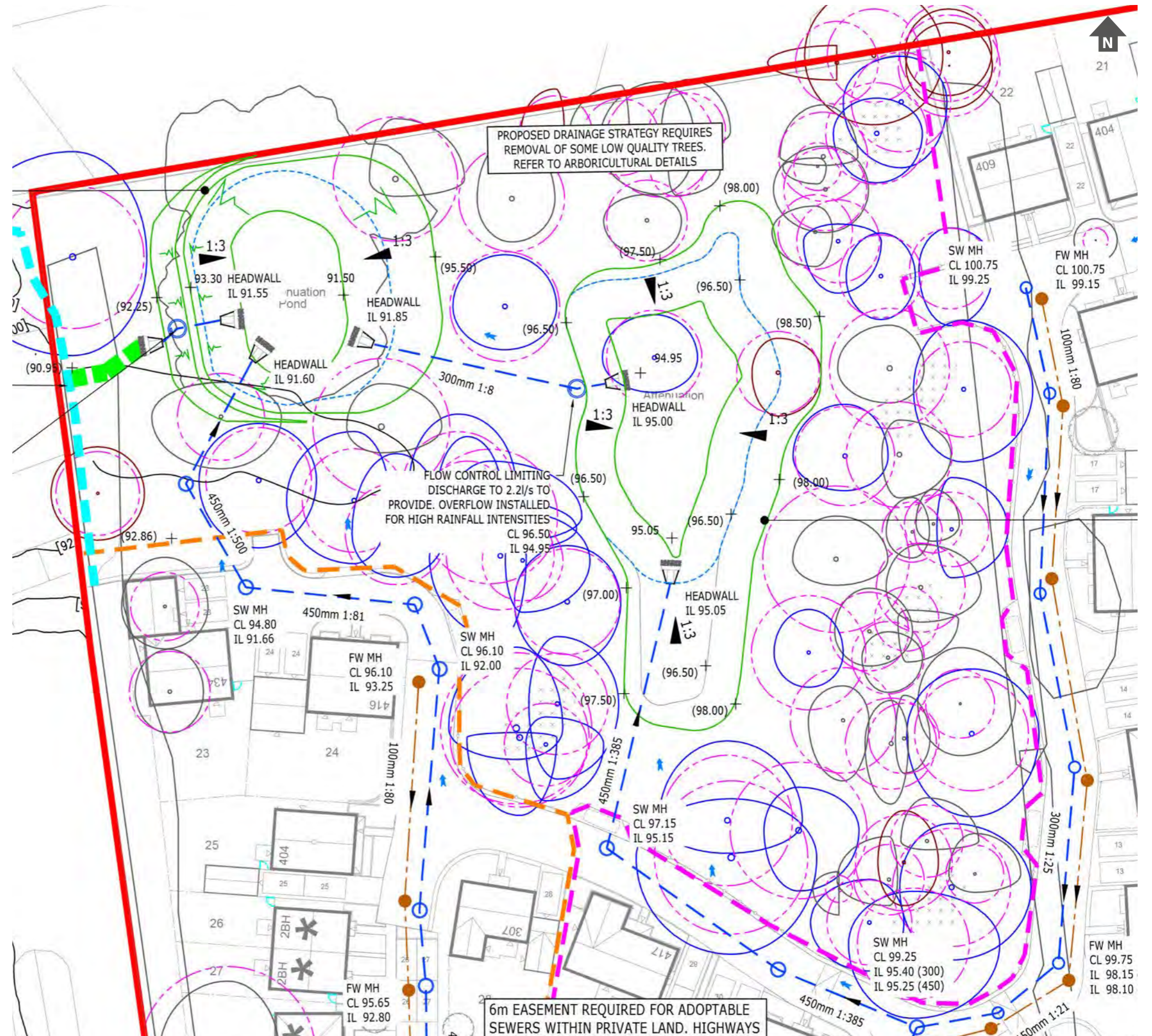
6.25 The basins are connected to enable overflow water to be drained and, in extreme events only, diverted off site into an existing drainage system off site. A proposed swale connects to the existing ditch along the north western edge of the site.

6.26 For more information please refer to the drainage reports and drawings provided with the application.

6.27 The attenuation basins are incorporated within the layout and located in the northern green open space.

6.28 An extract of the proposed drainage strategy is shown on the drawing opposite.

6.29 The design of the surface water drainage and swales was developed to provide a natural feel and setting that promotes wildlife and is attractive for the residents.



▶ Drainage strategy (extract)

Crime prevention

6.30 The scheme has been designed with regard to best practice in the design of residential development, ‘Secured By Design’ and as identified in ‘Safer Places: The Planning System and Crime Prevention’ as published by the Home Office in 2004.

6.31 Good residential design requires a balanced approach to the many, and sometimes contradictory, criteria applied by the developer, local and county authorities, statutory bodies, consultants, neighbours and other interested parties. In respect of crime prevention, it is essential to provide a development that allows for natural surveillance of all spaces and a clear definition of public and private space. Detailed attention to issues such as vehicle parking, refuse bin storage and rear access to properties will ensure a safe and secure layout and area to live.

6.32 This can be further emphasised as follows:

- Access and Movement - places with well-defined routes, spaces and entrances that provide for movement without compromising security.
- Surveillance - places which are publicly accessible and overlooked.
- Ownership - places that promote a sense of ownership, respect, territorial responsibility and community.

6.33 This proposal seeks to embody these principles wherever possible with a key consideration being a clear definition of ownership, surveillance of all spaces and the creation of a movement strategy that will ensure the development provides appropriate levels of activity in appropriate places.

Refuse collection

6.34 All houses have been designed with adequate storage for refuse and recycling. The houses have a combination of refuse strategies. All houses have rear garden access within suitable carry distances for refuse collection or to muster collection points.

Key

- ✱ Standard curtilage collection
- Muster collection
- Muster storage

➤ Refuse strategy












Landscape

6.35 The illustrative masterplan creates the opportunity to create a robust landscape framework which incorporates a central public open space in the northern part of the site and a series of linked open spaces, which should form a green network accessible for both residents and the wider community.

6.36 The basis of the landscape framework is the retention and enhancement of the existing vegetation, where possible, to preserve the existing biodiversity on site. The tree protection area of retained trees has been safeguarded during the design and additional space is allocated around the protection areas for future growth of the tree. The boundary hedges are retained as much as possible and a gap along the eastern boundary is filled in with a new proposed tree. This will retain the visual screening of the proposal site when viewed from the neighbouring residential properties.

6.37 The proposed ecological corridor along the western boundary will ensure biodiversity along this boundary and provides appropriate screening to potential new development on the neighbouring area.

- Key
-  Proposed tree
 -  Hedge planting
 -  Native and ornamental shrub planting
 -  Turfed / seeded area
 -  Existing tree to remain
 -  Root Protection Area
 -  Native bulb planting
 -  Knee rail
 -  No dig hoggin path



6.38 Ornamental trees and shrub planting will be used within the housing areas soften the streetscape within the parking courts and to enhance the setting of the informal open space areas. This will establish a distinctive character for the development. The tree and shrub planting are proposed to reflect species that are characteristic of the proposed development site and surrounding area.

6.39 Meadow grassland seed mixes and marginal planting appropriate to the local area will be used to create grassland and wetland habitats of high wildlife value complementing the retained tree within the open spaces and especially the larger public open space are to the north.

6.40 The open spaces along the site boundaries will benefit from a high degree of passive surveillance as new dwellings will front on to and overlook the space.

Typical tree planting



Typical shrub planting



Typical hedge planting



Appearance

6.41 The local vernacular is a mixture of Brick, render and timber boarding. As such and in keeping with the local character, the materials proposed for the dwellings are of a traditional appearance, incorporating slate and tiled pitched roofs with rendered and brick external elevations.

6.42 The form and architectural approach is reflective of the Goff's Oak area. This is achieved with a more rural/vernacular approach to the buildings facing the open spaces and in particular the central larger open space. This is combined with use of buff brick, white render and some timber boarding. Together, with careful detailing has ensured the frontages presents in a cohesive manner and echoes the local built heritage of Goff's Oak and Cuffley Hill.



▲ Street Scene A-A



▲ Street Scene B-B

7.0 Conclusion

7.1 The proposals seek to deliver a development that is conscious of its surroundings responding to the various constraints and opportunities identified throughout the design process.

7.2 A mix of house types are provided to help create a family orientated community with a close relationship to the surrounding greenspaces. Fully interconnected spaces create a legible and permeable development helping to provide a safe and attractive environment.

7.3 The proposal will create a high quality housing development within the wider area of Goff's Oak which will maintain and enhance the architectural character. The proposal will provide a positive contribution to the village of Goff's Oak in an appropriate form and scale.

7.4 The use of quality materials, attention to local architectural detail and careful disposition of buildings will create a quality environment fully in keeping with the character of Goff's Oak.





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